

Attachment 5

Heritage Advice letter to Council

Wollondilly Shire Council Heritage Advisory Service

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The General Manager, Wollondilly Shire Council
Attention: Robyn Cooper, Land Use Planning & Environment
Robyn.Cooper@wollondilly.nsw.gov.au

ADVICE SUBJECT: Extension of Menangle Heritage Conservation Area.

CLIENT: Peter Wright

Dear Sir

Thank you for requesting heritage advice. As requested, I visited Menangle village to estimate a visual rural and historic catchment for the village.

I endorse the concept of a Landscape Conservation Area (extension of the Menangle Heritage Conservation Area). This would be required to preserve the setting and guide future development, if the heritage values of the village are to be retained.

The relationship of the Menangle Village street and building layout to the topography of the area is an important feature of the village, with most development being established along a north south ridge. The village features a prominent knoll to the south east of the village on which is located St James' Church making it the dominating landmark in all views of the village.

The character of the residential buildings in the village is diverse in terms of size, form, period style and materials. However Menangle's significance centers on the retention of a large number of early 20th century (1900-1920) dwellings. Many of the dwellings have retained their original form, fabric and detailing to give the village its important heritage and aesthetic character where Colonial and Edwardian styles homes are still to be seen.

Camden Park Estate, which included the village, is noted in the NSW State Heritage listing, in part, as "of social, historic, scientific and aesthetic significance to NSW and Australia. The Estate's considerable social and historic significance is also due to its ability to demonstrate the way of life, tastes, customs and functions of a 19th - early 20th Century rural establishment." Today the NSW Heritage register lists 37 individual historic assets, within and around Menangle, within a 6km radius.

Menangle Village is an outstanding representative example of an intact 19th century estate village. Its rural setting provides evidence of its role as part of the Macarthur family Camden Park Estate and should be preserved.

Early Menangle was a lightly populated parish of some 50 farms centred on the Nepean River. The creation of the village in the 1850s and 1860s was primarily the result of developments in communication: a road-bridge over the Nepean (1855-56); a railway bridge (1863) bringing with it construction gangs; a railway station and finally

two inns serving both the railways gangs and the surrounding farms. By 1866, 100 people were living in the village, on both sides of the river.

Farming was initially dominated by sheep, but gave way to dairy cattle after the opening of the railway. The Macarthurs of Camden Park patronised the village, which was home to many of their estate workers. Their considerable wealth helped the village to grow and the Macarthurs were directly responsible for many of the fine buildings in Menangle, including St James's Church (both the original 1876 Horbury Hunt building and the Sulman addition in 1898), the present General Store, the Camden Estate Central Creamery and eventually the Rotolactor, which brought modern technology to the local dairy industry. The General Store was initially used by the Camden Park Estate as its buying agent for all provisions, stores, seeds, fuel etc and it was only with the dwindling of the Estate - and the Macarthurs' iron grip on the district - that it began to function as a general store for the village.

Menangle Village has State significance through its close association with the Macarthur and Onslow families, who were instrumental in establishing the village and keeping it economically viable through financial support and the provision of jobs on their Camden Park Estate and the nearby Creamery.

Menangle Village has remained essentially contained within the settlement boundaries formed by village development by the second decade of the 20th century. As such, it is an unusually intact example of a rural village of this period and in particular, one that is associated with the dairying industry.

It also has local and regional aesthetic significance as a discrete landscape entity and notable landmark, its cross streets lined with houses with views of the surrounding farmlands.

The village also has associational significance through its links with the Macarthur family and the Camden Park Estate, this being most clearly expressed in the major commercial, ecclesiastical and industrial buildings of the General Store, St James' Church, the Creamery and the Rotolactor as well as Estate workers' housing.

The village is also an important social entity with a strong sense of community and sense of place to a degree not reached in the other towns and villages of Wollondilly.

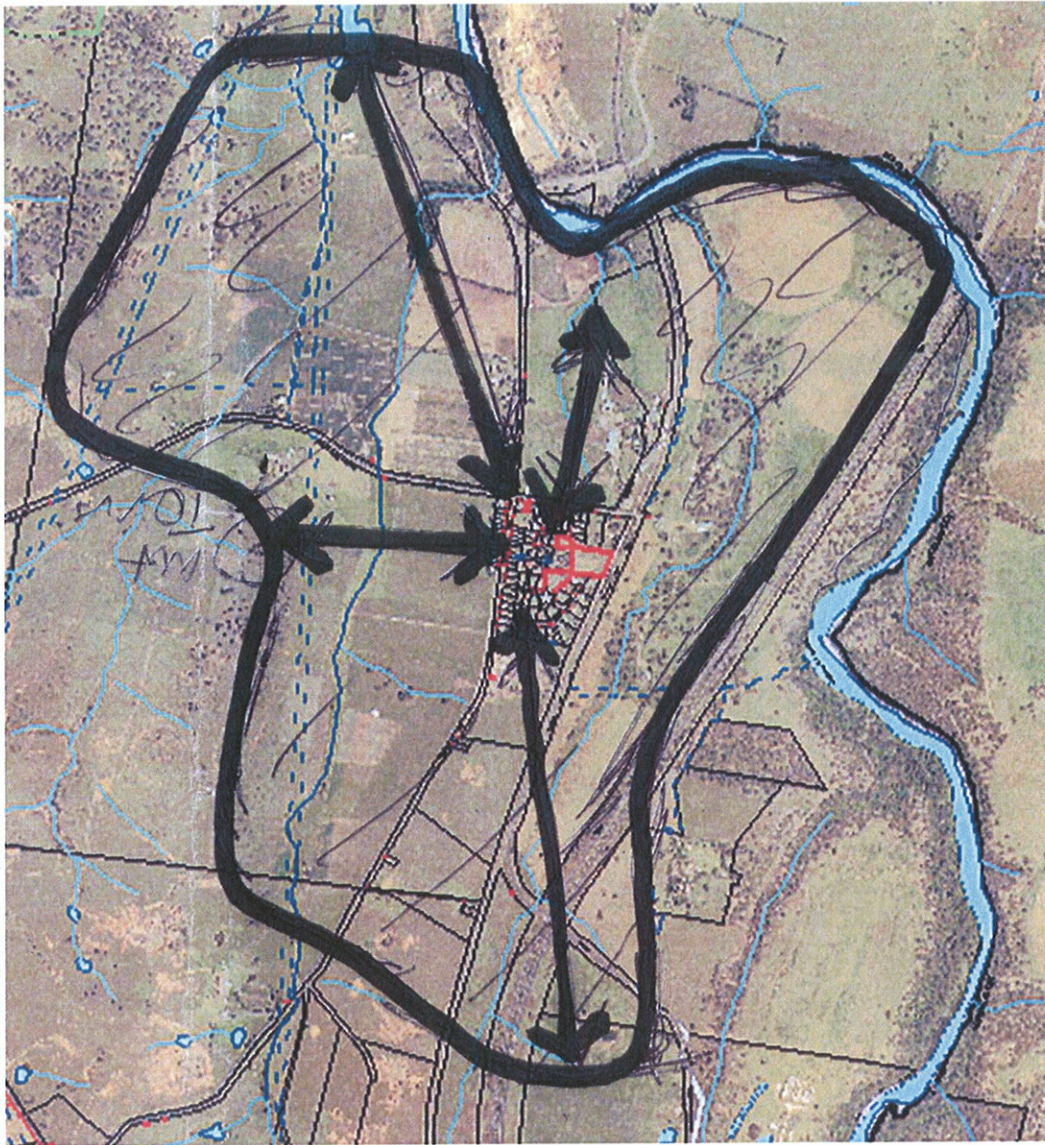
An historical summary and draft DCP provisions are attached. A sketch of the visual catchment area of the village is also appended as Map 1.

I trust that the above advice has been of assistance at this time.

Kind regards



Dr Peter Kabaila
Heritage Adviser



Map 1

Proposed extension of Menangle Heritage Conservation Area to surrounding ridges to include visual catchment and historic landscapes identified as Menangle Landscape Conservation Area.

Attachment 6 HISTORICAL SUMMARY

Menangle Village is located to the east of Mt Taurus in the "Cowpastures", and sits between a unique mixture of green space, wildlife corridors, lagoons, streams, and the Nepean River. It is recognised as Wollondilly's only historic village and has remained contained within the settlement boundaries of the village development, during the second decade of the 20th century, with the exception of the Durham Green retirement facility to the south.

Both Mt Taurus and the Cowpastures were named by Governor Hunter in 1795, after the discovery of the escaped first fleet cattle in the area. The cattle were found to be thriving in the lush grassland beside the Nepean River and this signaled to Hunter and then to England, that the fledgling colony could now survive.

The Tharawal people had already named the area Menangle, ("Manhangle") which means 'place of swamps.' They used fire to maintain the productivity and sustainability of the flat land, leaving the hills tree covered, to good success, as the cattle had multiplied greatly in number in these good conditions.

In 1805, Lord Camden the Colonial Secretary, had been so impressed with John and Elizabeth Macarthur's new fine wool merino sheep, that he ordered Governor King to grant them 5000 acres for sheep breeding. They chose the best pasture in the colony, the rich river flats of "the Cowpastures". They then proceeded to establish Camden Park, which became one of the finest estates in the nation.

Over the years the Camden Park Estate became a model for Australia's proud agricultural traditions and they rank as one of Australia's greatest agricultural pioneers, specializing in wheat, dairying, horticulture and wine, achieving 15 Australian agricultural firsts, as well as being major exporters.

By the 1830's the estate had expanded to 28,000 acres and was the greatest and most advanced mixed farm in NSW employing 900 people and producing 30,000 gallons of wine annually and other produce including wheat, fruit, nuts, dairy, meat and wool.

The Menangle village was first recorded as a village in 1866 with mention in Balliere's Gazette, where an alternative name of Riversford was given. The village had been established before this by the Macarthur family as the village for their estate workers. It was centered on St James' Church (1876), where the steeple had a weather vane not a cross indicating the local rural focus. Other predominant buildings were St Patrick's (1895), the School (1871) and the General Store/Bakery/Butcher/Rural Supplies (c1904) and the Hall (c1904).

While there were several river crossings and roads in this isolated area, business increased as a result of the establishment of the railway in 1863 and later the Menangle spur line and the river weir (1886).

Menangle's identity changed as it became the focus of Camden Park Estate businesses and this was reinforced by the established of the Camden Estate Central Creamery (1898) and the Rotolactor (1952), when the area was the major supplier of milk to Sydney. Menangle had reached a size of 35 houses by 1950 with 23 still owned by the Camden Park Estate. It continued to be known as the "private village" of Camden Park Estate although many buildings had already been sold in previous years. In 1975 those that remained in the estate were finally sold off, as all rural industry was in severe decline.

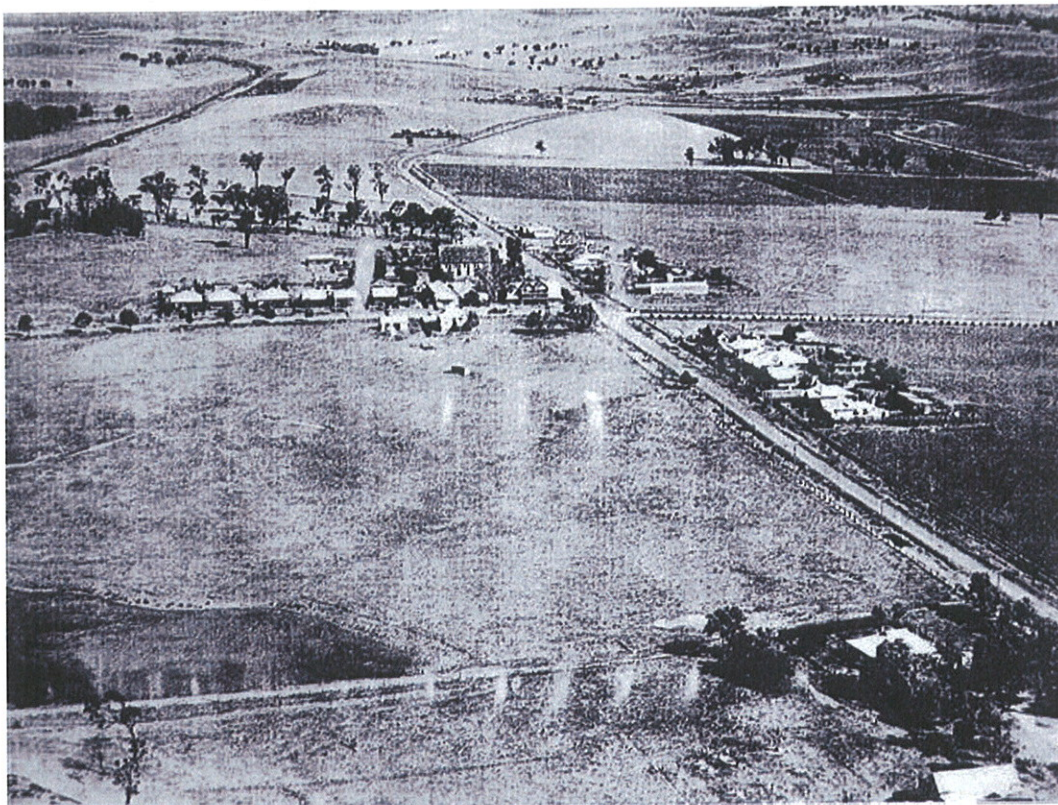
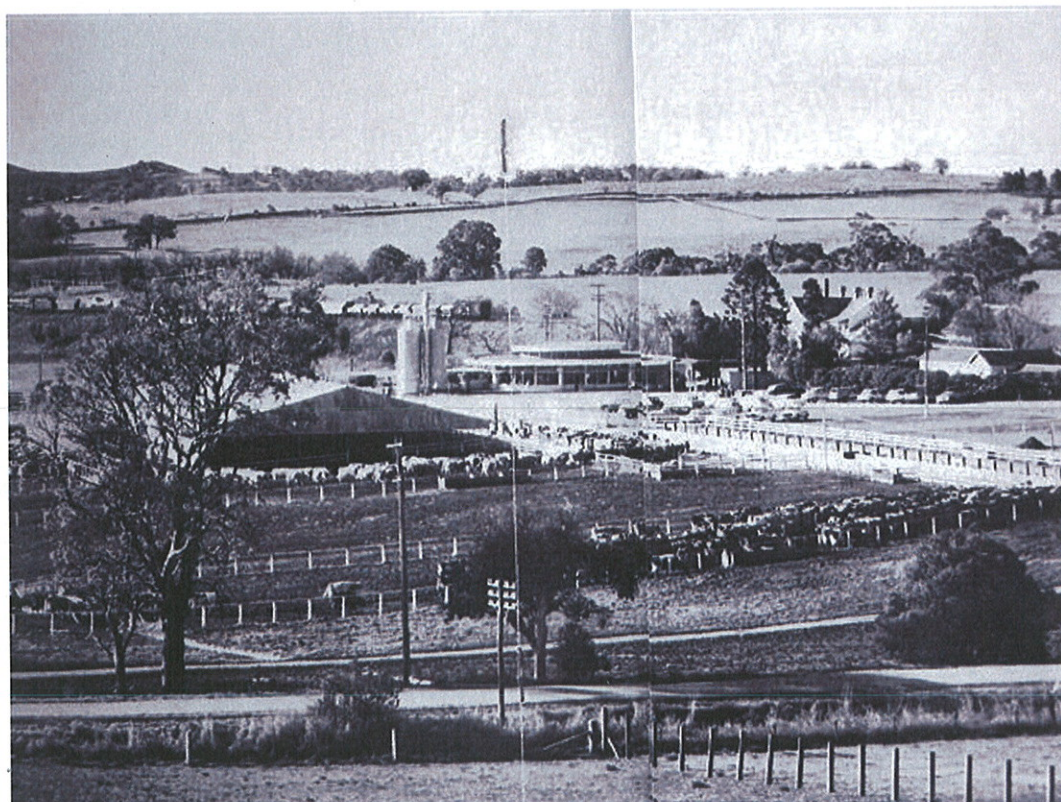


Photo of Menangle after St James was built in 1876 when it was the private village of Camden Park Estate.



Rotolactor and Railway c1955.



Present day aerial photograph of Menangle village showing its well preserved historic rural landscape setting.

Attachment 7 DRAFT DCP PROVISIONS

Aims and objectives:

To ensure the best possible conservation of Menangle the control requirements apply to all land in the Menangle Heritage Conservation Area and the Menangle Landscape Conservation Area whether private or public and to all parties including government and private owners, utility providers and council.

To provide specific controls for all forms of development on all land both private and public within the Menangle Heritage Conservation Area and Menangle Landscape Conservation Area.

To ensure that all new development within the Menangle Heritage Conservation Area is compatible with the existing visual, built and landscape character of the place by setting standards which will ensure this.

To recognise tourism as an important factor in the economy of Menangle and to actively promote the environmental heritage and natural attributes of Menangle as a means of ensuring the continued contribution of the local economy. In doing this, however, Council must ensure that the heritage integrity of the village is not undermined through tourism promotion and development.

To retain the rural setting of Menangle by regulating development and removal of trees within the entire Menangle Landscape Conservation Area.

To retain the identity and containment of the village core area and to limit the settlement as a whole within the Menangle Heritage Conservation Area.

To ensure that land use and level of activity reflect the scale of the present village and are compatible with the essential heritage and visual qualities of Menangle, whilst recognising the economic importance of both visitor and resident.

To retain the open setting along the main approaches to and exits from Menangle.

Intent:

To retain and conserve the intrinsic features of the Menangle Heritage Conservation Area and Menangle Landscape Conservation Area:

For their ability to demonstrate historical values of architectural and garden design from the initial period of development of Menangle.

For the aesthetic unity of the streetscapes arising from the harmonious integration of low-density built forms within a rural landscape setting, and high proportion of landscape space and trees; and

For the social values associated with the retention of communal landscaped reserves and community facilities, whilst managing change to meet the contemporary requirements of residential usage.

For the rural ambience arising from the natural landscape surrounding the village, with minimal number of buildings visible from the main approaches to Menangle.

Character

The Menangle Landscape Conservation Area, shown on Map 1 below, is important to Menangle's setting and character, as it is open farm land mixed with natural bush, with little development visible from the village itself or its approaches.

Objectives

To protect the significant landscape setting for Menangle, and to minimise the population pressures on the village, the undeveloped nature of the Landscape Conservation Area shall be retained and its protective zoning strictly enforced.

Removal and/or lopping of any tree within the Landscape Conservation Area, larger than 300mm diameter (measured 1 m above ground) and/or over 10 m high, shall require prior consent of Council.

No building is to be erected that, in the opinion of Council, will be visually prominent when viewed from the village of Menangle, its approaches or any listed heritage item.

No building is to be erected which would intrude or block important views.

No development is to take place on the ridgelines that will, in the opinion of Council, have a detrimental impact on the rural bushland setting of Menangle or of any listed heritage item.

No fencing is to be erected that would, in the opinion of Council, have a detrimental impact on the rural setting of Menangle or of any listed heritage item. All fences require Council consent, except for traditional rural fences of wire or wire mesh or of timber post and rail design to a maximum height of 1400 mm.

Mandatory requirements:

New development within the Menangle Landscape Conservation Area shall be sited so that it is hidden from view from roads entering Menangle.

New development within the Menangle Landscape Conservation Area shall be sited so that it is not visually prominent when viewed from the Menangle Heritage Conservation Area, its approaches or any listed heritage item.

No development is to take place on the ridgelines that, in the opinion of Council, will be visually prominent when viewed from the Menangle Heritage Conservation Area, its approaches or any listed heritage item.

New development within the Menangle Landscape Conservation Area shall be sited so that it does not block views from the Menangle Heritage Conservation Area to the vegetated setting of the Menangle Landscape Conservation Area and views from any heritage listed item.

Trees or shrubs over 6 metres tall with a diameter at 1 metre above ground level greater than 200 mm within the Menangle Landscape Conservation Area shall not be removed or lopped without the written consent of Council. This clause does not apply to environmental weeds.



Village centre: Menangle Store, Barn, Hall, and Cottage, Corner Station St. and Woodbridge Rd's



View towards Gilbulla from Crn. Station St and Moreton Park Roads.



View east from St James Church towards the freeway and the Nepean River.



View east from St James Church Common towards the freeway and the Nepean River.



View South from St Jame's Common towards Spainard's Hill.



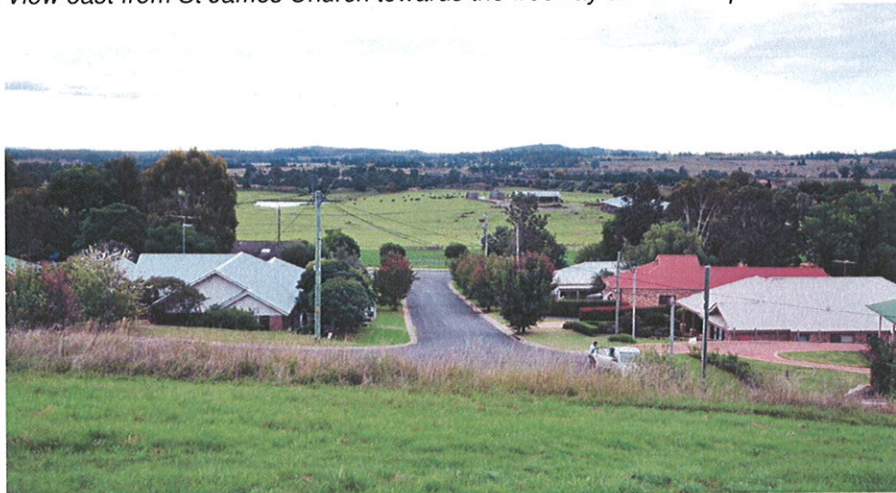
St James Church at the core of the historic village centre.



View south east from St James with Gilbulla in the distance.



View east from St James Church towards the freeway and the Nepean River



View east from St James Church towards the Nepean River, Rotolactor, Creamery, grazing, cropping land and Menangle Park..



Village centre: St Patrick's Church from Menangle Road.